



2 Doyle Lane, Spalding, PE11 1WU

£180,000

- Modern Three-Storey Townhouse built in 2020 on the popular St Johns Circus development in Spalding
- Two Double Bedrooms with spacious and well-planned accommodation across three floors
- Open-Plan Kitchen/Dining/Living Area with access to a private balcony—ideal for entertaining
- Stylish Four-Piece Family Bathroom plus separate WC on the second floor
- Off-Road Parking & Single Garage offering convenience and additional storage
- Ground Floor Utility Room accessed from the entrance hall for added practicality
- Solar Panels and Fibre Broadband
- EV charging point available

Modern Two Bedroom Townhouse – Doyle Lane Spalding.

Situated on the sought-after St Johns Circus development in Spalding, this stylish three-storey townhouse offers generous and versatile living space. Built in 2020, the property features a ground floor entrance hall with access to a utility room and a staircase leading to the accommodation.

The first floor features an open-plan kitchen, dining and living area, complemented by a separate WC and access to a private balcony—perfect for relaxing or entertaining. On the top floor, you'll find two well-proportioned double bedrooms and a modern four-piece family bathroom.

Externally, the property benefits from off-road parking and a single garage. Early viewing is recommended to appreciate the space and location on offer.

Entrance Hall 10'8" x 6'7" (3.27m x 2.02m)

Composite glazed entrance door. Coving to skimmed ceiling. Stairs to first floor. Radiator. Door to utility room.

Utility Room 7'10" x 6'7" (2.40m x 2.02m)



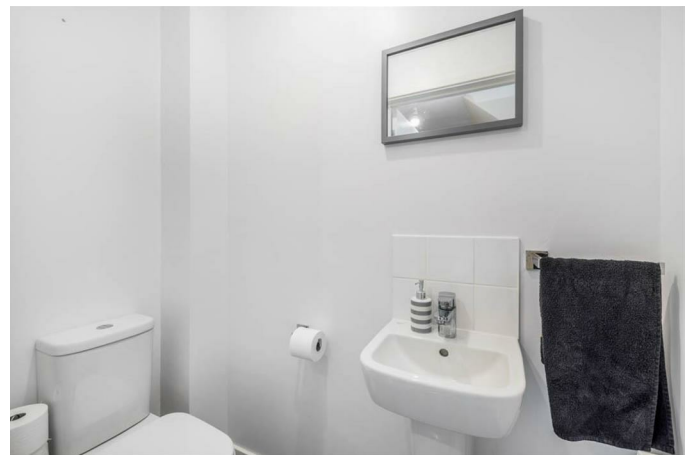
Coving to skimmed ceiling. Extractor fan. Vinyl flooring. Radiator. Fitted worktop space. Space and plumbing for washing machine and tumble dryer. Plumbing in situ for two washing machines if required.

First Floor Landing 16'4" x 6'7" (4.98m x 2.02m)



PVC double glazed window to rear. Coving to skimmed ceiling. Radiator. Stairs to second floor landing. Doors to kitchen/living area and cloakroom.

Cloakroom



Coving to skimmed ceiling. Extractor fan. Vinyl flooring. Radiator. Fitted close coupled toilet with push button flush. Wall mounted wash hand basin with chrome mixer tap and tiled splash back.

Open Plan Lounge/Kitchen 16'4" x 19'9" (4.98m x 6.02m)



PVC double glazed window to side and rear. French

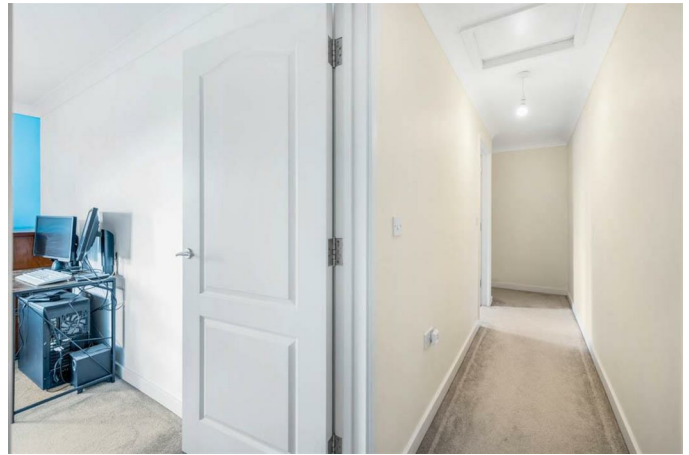
doors to balcony. Coving to skimmed ceiling. Fitted with a matching range of base and eye level units, worktop space, matching upstand and tiled splash back. Wall mounted mains gas central heating boiler. Four ring Neff gas hob with stainless steel extractor hood over. Electric oven and grill under. Composite sink and drainer with chrome mixer tap. Space and plumbing for dishwasher. Space for fridge/freezer. Two radiators.



Balcony 5'10" x 16'4" (1.80m x 5.00m)



Second Floor Landing 3'0" x 17'8" (0.92m x 5.40m)



Coving to skimmed ceiling. Loft access. Doors to bedrooms and bathroom.

Bedroom 1 12'11" x 10'9" (3.94m x 3.28m)



PVC double glazed windows to rear. Coving to skimmed ceiling. Radiator. Built in wardrobe with shelf and hanging rail. Built in over stairs cupboard.

Bedroom 2 8'11" x 12'1" (2.73m x 3.69m)



PVC double glazed windows to side and rear. Coving to skimmed ceiling. Radiator.

Bathroom 6'10" x 8'7" (2.10m x 2.64m)

Coving to skimmed ceiling. Light tunnel. Recessed spot lighting. Vinyl flooring. Extractor fan. Shaver point. Wall mounted heated towel rail. Fitted shower pod with rainfall head and hand held attachment. Panelled bath with chrome mixer tap. Close couple toilet with push button flush. Pedestal wash hand basin with chrome mixer tap.

Outside

There is off road parking and access to the single garage with up and over door.

**Garage 16'11" x 8'7" (5.18m x 2.64m)**

Up and over vehicular door. Power, light and water connected. EV charging point connected.

**Property Postcode**

For location purposes the postcode of this property is: PE11 1WU

Additional Information**PLEASE NOTE:**

All photos are property of Ark Property Centre and can not be used without their explicit permission.

Verified Material Information

Tenure: Freehold

Council tax band: A

Annual charge: £120 approximately paid to Broadgate Homes

Property construction: Brick built

Electricity supply: Octopus Energy

Solar Panels: 2 panels, 0.5kw, owned by the property.

Other electricity sources: No

Water supply: Anglian Water

Sewerage: Mains

Heating: Gas central heating

Heating features: No

Broadband: As stated by Ofcom, Standard, Superfast and Ultrafast is available.

Mobile coverage: As stated by Ofcom, Indoor - EE is Likely over Voice and Data. Three is Limited over Voice and Data. O2 is Limited over Voice and Data. Vodafone is Limited over Voice but None over Data.

Mobile coverage: As stated by Ofcom, Outdoor - EE is Likely over Voice and Data. Three is Likely over Voice and Data, O2 is Likely over Voice and Data. Vodafone is Likely over Voice and Data.

Parking: Driveway and Single Garage

Building safety issues: No

Restrictions: No

Public right of way: No

Flood risk: Surface water - low. Rivers and the sea - medium. Other flood risks - Groundwater - flooding from groundwater is unlikely in this area. Reservoirs - flooding from reservoirs is unlikely in this area.

Coastal erosion risk: No

Planning permission: Please refer to South Holland District Council Planning Portal for any planning applications.

Accessibility and adaptations: No

Coalfield or mining area: No

Energy Performance rating: B85

Viewing Arrangements

Viewing is by appointment with Ark Property Centre only. We suggest you call our office for full information about this property before arranging a viewing.

Offer Procedure

you will be asked to provide I.D and proof of finance, in compliance Money Laundering Regulations 2017 (MLR 2017). The business will perform a Money Laundering Check as part of its Money Laundering Policy.

If a cash offer is made, which is not subject to the sale of a property, proof of funds will be requested or confirmation of available funds from your solicitor.

Ark Property Centre

If you are thinking about selling your property or are not happy with your current agent - we can offer a FREE valuation service with no obligation.

We can also offer full Financial and Solicitor services. Please note we do get a referral fee for any recommended client service used.

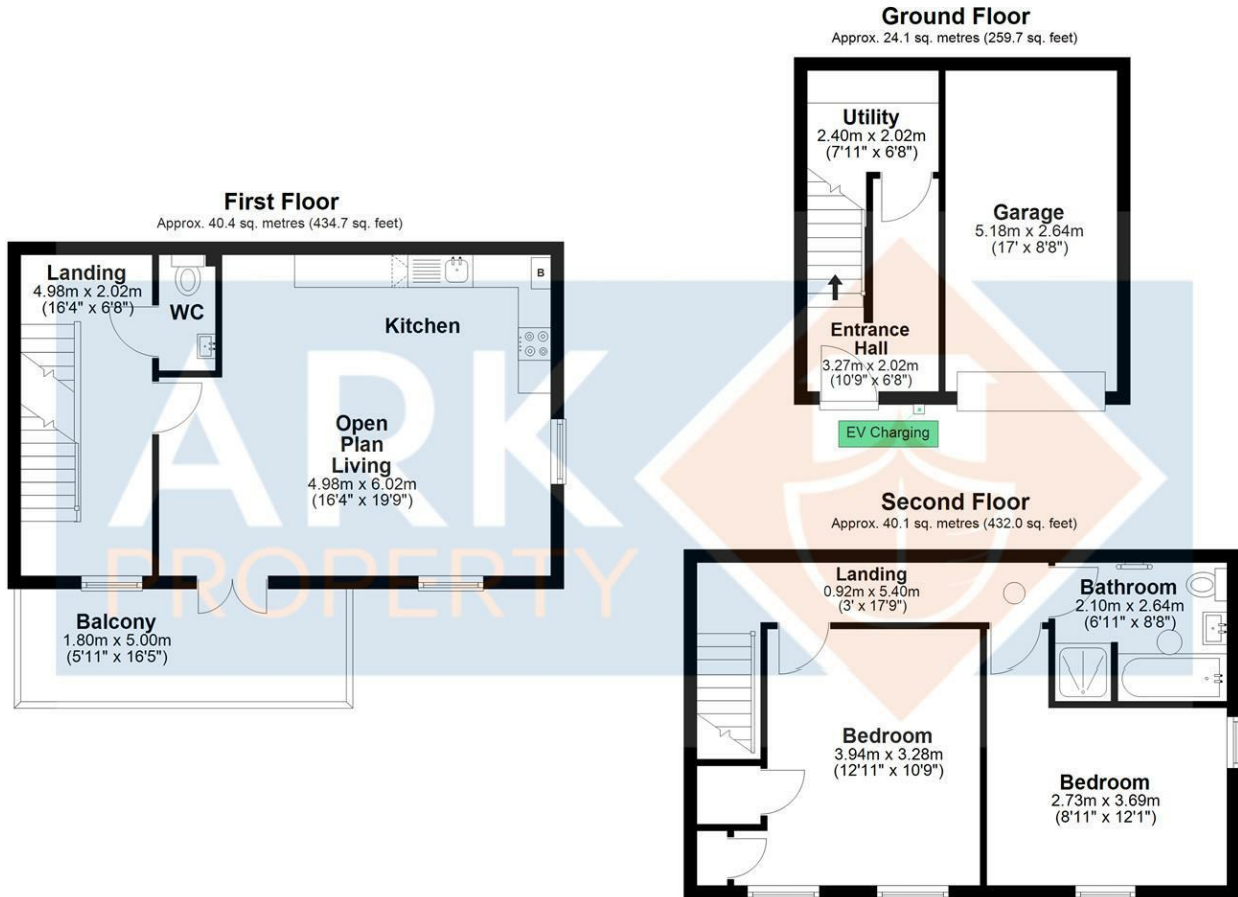
Disclaimer

These particulars, whilst believed to be accurate are set out as general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firms employment has authority to make or give representation or warranty in respect of the property. These details are subject to change.





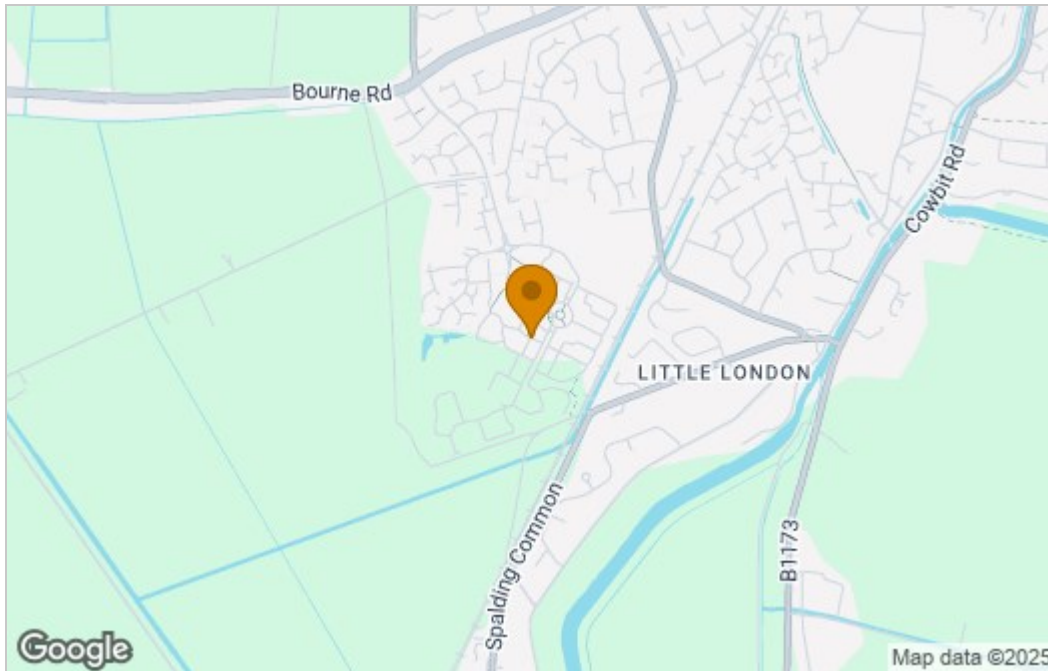
Floor Plan



Total area: approx. 104.6 sq. metres (1126.3 sq. feet)

All images used are for illustrative purposes. Images are for guidance only and may not necessarily represent a true and accurate depiction of the condition of property. Floor plans are intended to give an indication of the layout only. All images, floor plans and dimensions are not intended to form part any contract. Plan produced using PlanUp.

Area Map



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Energy Efficiency Graph

Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus) A			
(81-91) B		85	86
(69-80) C			
(55-68) D			
(39-54) E			
(21-38) F			
(1-20) G			
Not energy efficient - higher running costs			
England & Wales		EU Directive 2002/91/EC	

Environmental Impact (CO ₂) Rating		Current	Potential
Very environmentally friendly - lower CO ₂ emissions			
(92 plus) A			
(81-91) B			
(69-80) C			
(55-68) D			
(39-54) E			
(21-38) F			
(1-20) G			
Not environmentally friendly - higher CO ₂ emissions			
England & Wales		EU Directive 2002/91/EC	

